



Memorandum

February 12, 2026

TO: Planning and Zoning Commission
Julie Couch, Town Manager

FROM: Israel Roberts, AICP
Planning Manager

SUBJECT: **CONDITIONAL USE PERMIT FOR AN ACCESSORY STRUCTURE
(CASE #CUP2026-01)**

BACKGROUND: This is a request for approval of a revised Conditional Use Permit (CUP) for an accessory structure. The 2.8-acre lot is located at 84 Secretariat Lane and is zoned for the (RE-2) Two-acre Ranch Estate District. Owner/Applicant: Bror Peterson

STATUS OF ISSUE:

In January 2024, the applicant received CUP approval to construct a 3,150 square foot (SF) workshop and RV storage accessory structure at an existing home-site. The proposed structure was 29-feet tall with a metal façade, included 1,800 SF of interior space, a 600 SF carport, and a 750 square foot covered awning. This structure was not constructed.

At this time, the owner/applicant has returned with a different design for the proposed structure. The new structure is a 21-foot tall metal building, including 2,160 SF of interior space, and a 720 SF covered awning/carport. In total, the proposed structure is 2,880 SF under-roof. In direct comparison, the proposed structure is 8-feet shorter, and has 270 square feet less space under-roof, than the previous approval.

Existing on-site is a smaller 180 square feet carport that will be replaced by this proposed structure if approved, and a 660 square feet, detached, 3-car garage. This garage is the main garage for the home, therefore, by ordinance, up to 900 square feet for that main, detached, 3-car garage may be exempted from the accessory structure area allowance for the site. In this case, the entire 660 square feet is excluded.

Site Analysis

- In the (RE-2) Acre Ranch Estate District:
 - Setbacks for accessory structures of this size (over 900 SF) is 40 feet: *The proposed structure meets this requirement.*
 - Maximum number of accessory structures is two (2). *The proposed structure would be the second accessory structure on site.*
 - Maximum square footage for all accessory structures on a lot is 1,800 square feet. *The requested structure exceeds the area allowance by 1,080 square feet. Although this structure exceeds the 1800 SF limitation for an RE-2 zoning, it is 270 SF smaller than the previous approved structure from 2024. As noted, there is an existing 660 square foot, detached, 3-car garage on site, but that garage area is exempted from the accessory structure limitation.*
 - Maximum lot coverage is 25%. *Including the proposed structure and existing elements on-site, the lot coverage is approximately 9%, meeting the lot coverage requirement.*
 - Maximum height of an accessory structure is 30 feet. *The proposed structure is approximately 21 feet to the top of the roofline. The proposed structure is 8 feet shorter than the previously approved structure.*

Public Input

The town has notified 23 adjacent property owners within 500 feet of the subject property. To date, we have not received any correspondence

STAFF RECOMMENDATION: Since the proposed structured is smaller than what was previous approved in 2024, staff recommends **APPROVAL** of the proposed conditional use permit with the following conditions:

1. Use, location and design of the structure shall generally conform with the submitted concept Plans.

BUDGET: N/A

ATTACHMENTS:

- Locator
- Concept Plans



Kentucky Ln

Stacy Rd

Heritage Blvd

Man O War

Secretariat Ln

Subject Site

Stafford Ct

Cambridge Dr

Windsor Cir

Workshop Description:

The workshop will be situated well behind the main house. The enclosed portion of building will be 36' wide and 60' long. The roof will extend another 20' to create a car-port area. The total concrete pad size will be 2880 sq-ft. 2160 sq-ft enclosed plus the 720 sq-ft carport. The wall height needs to be 15ft to support a 12' x 14' garage door in the rear to allow standard height 5th wheel RV storage. The building will be a Mueller-style steel building with painted 26-gauge roof and sidewalls.

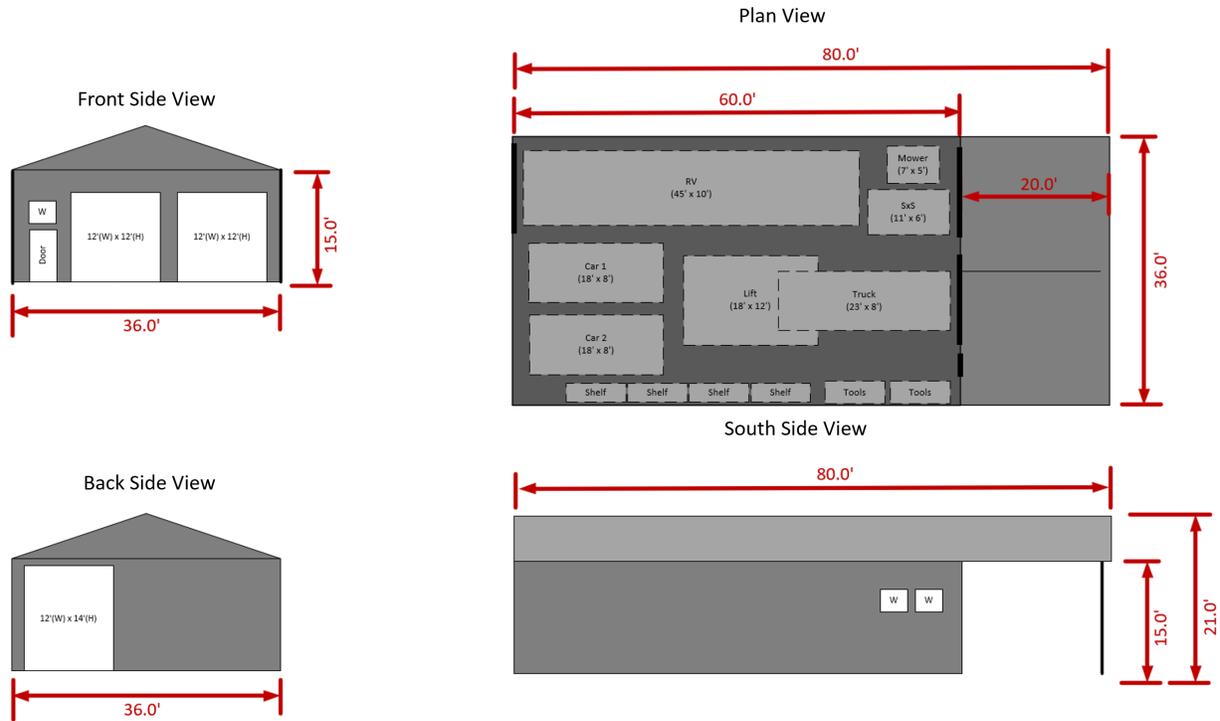


Figure 1: 84 Secretariat Ln. Workshop Dimensions

Building Site Description:

The building will be located well behind the main house. The width of the shop has been narrowed to meet minimum setbacks of 40 ft. from the north property line.

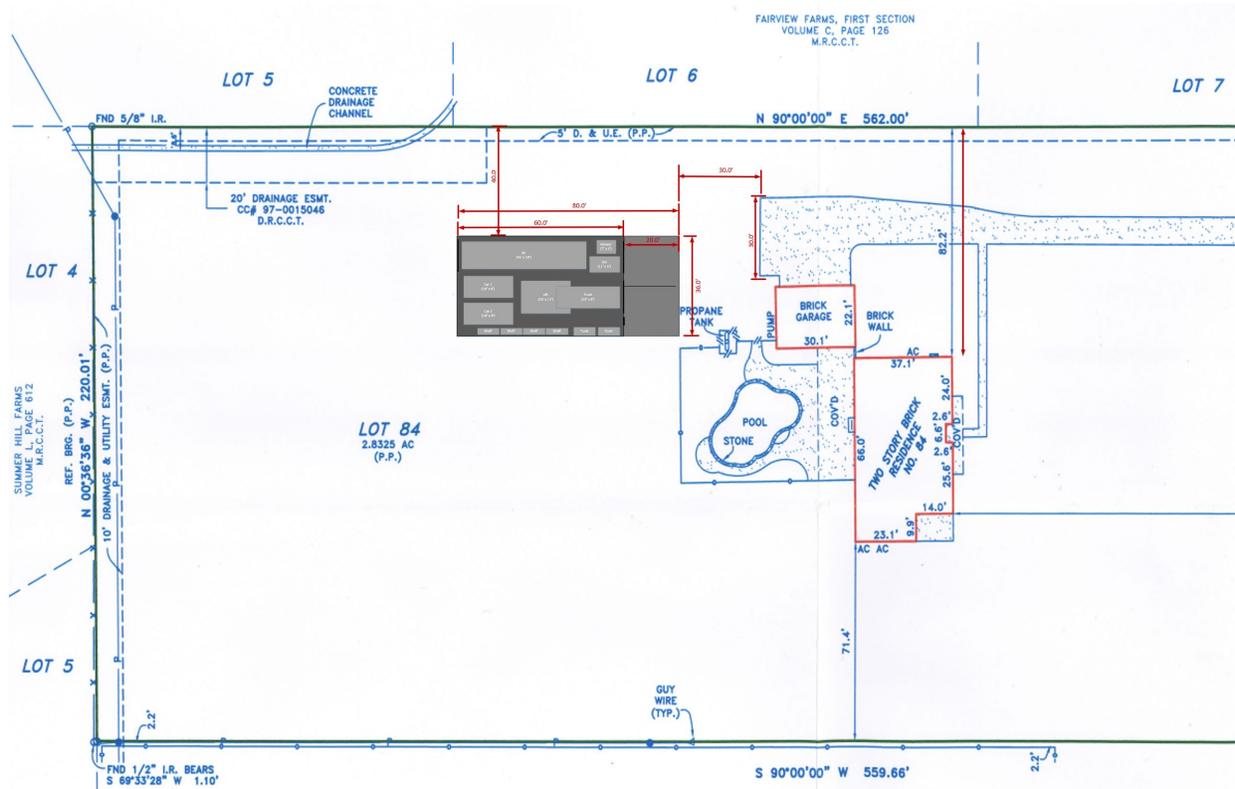


Figure 2: 84 Secretariate Ln. Workshop Site Location

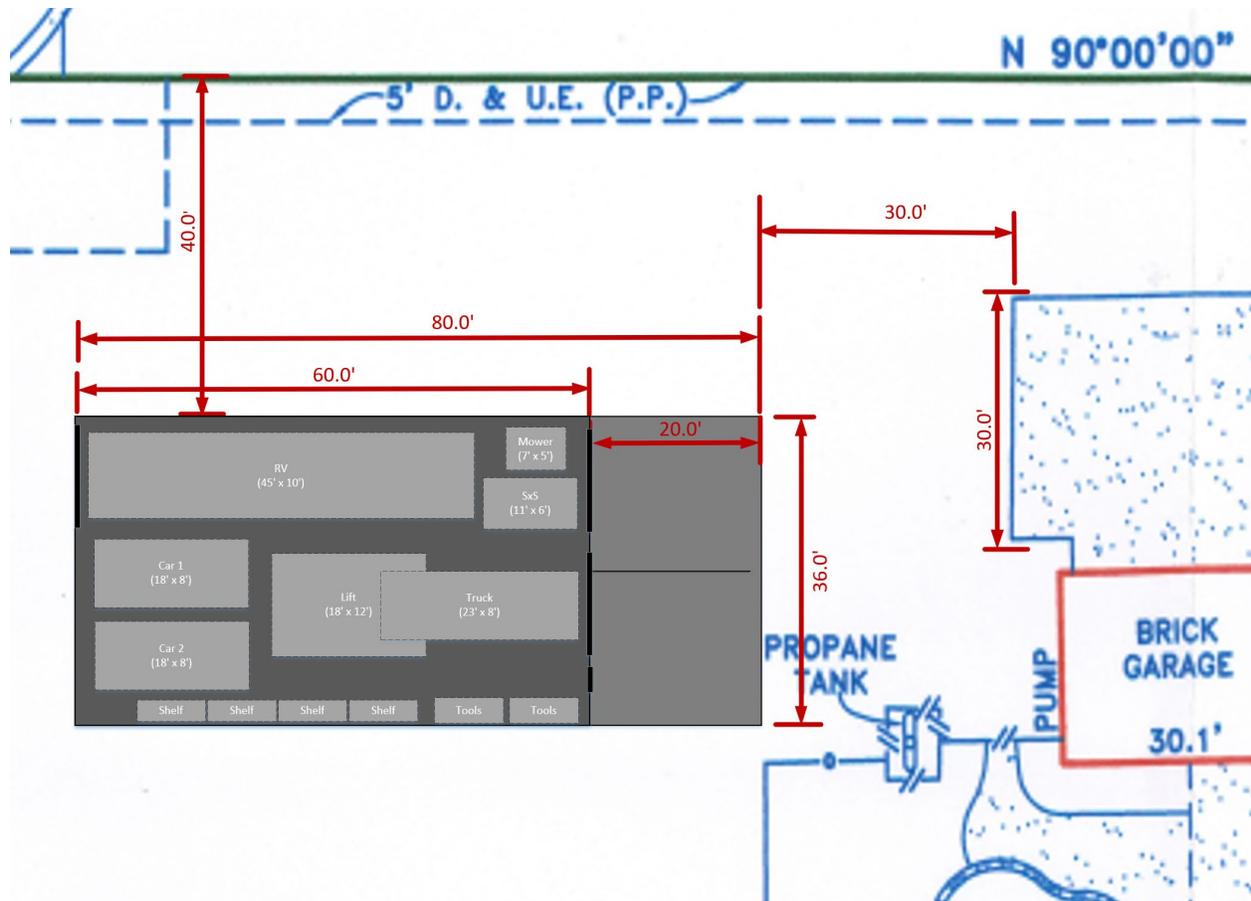


Figure 2b: Zoomed out view of the Workshop location

Greenspace Between Neighbors on North Side:

The red marker in Figure 3 identifies the main house. Further, it shows that the neighboring properties have all built near to Stacy Road and there is ample greenspace between the properties to mitigate wall height concerns. Further, the workshop location will be built to replace an existing non-permanent car-port structure, which is highlighted by the red rectangle.

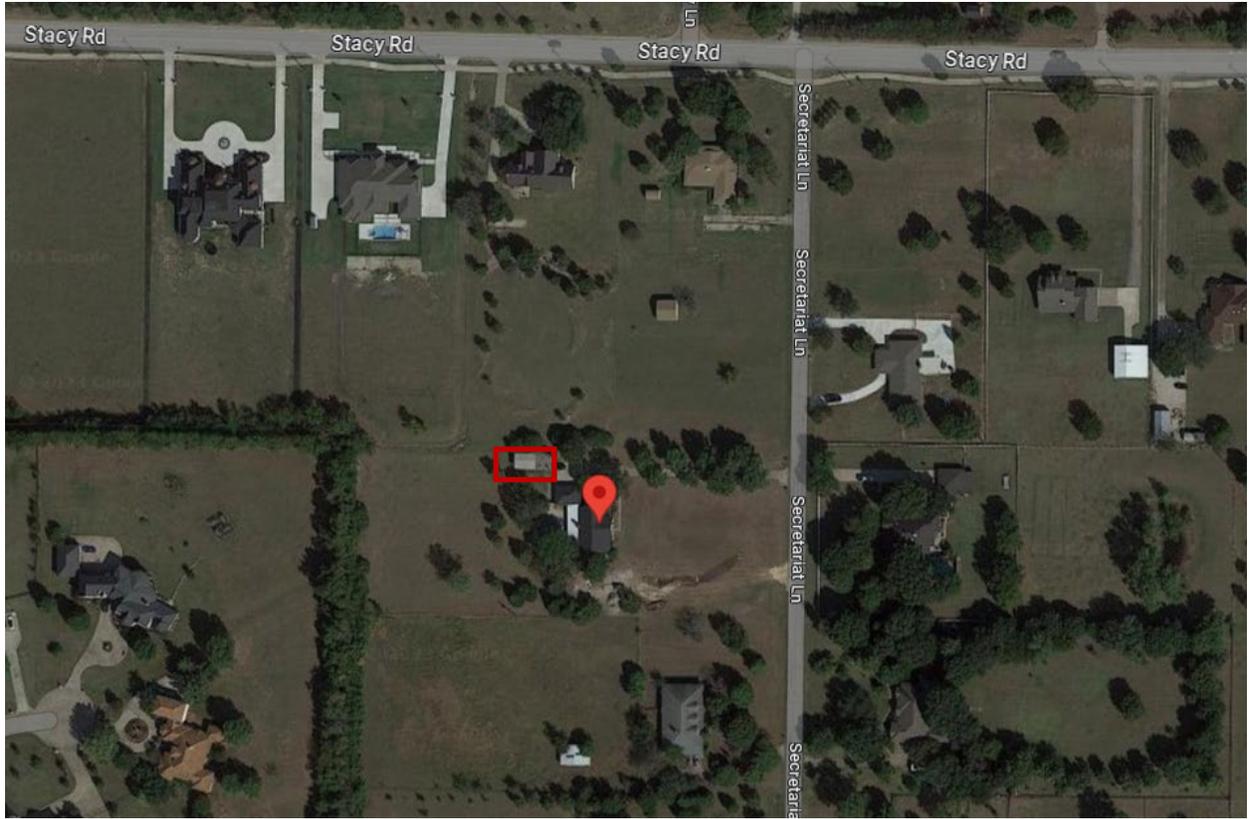


Figure 3: Significant Greenspace Between Neighbors to the North

Front of House:

Figure 4 illustrates the tree lined driveway will block the view of the workshop from Secretariat Ln. The workshop will be behind the house and the main house is setback significantly on the lot.



Figure 4: View of 84 Secretariat Ln. from Secretariat Ln