



Memorandum

June 14, 2018

TO: Planning and Zoning Commission
Julie Couch, Town Manager

FROM: Israel Roberts, AICP
Planning Manager

SUBJECT: **CONDITIONAL USE PERMIT FOR A SPORT COURT (CASE #CUP2018-5)**

BACKGROUND: This is a request or approval of a conditional use permit (CUP) for a sports court. The 2.26-acre site is located at 1041 Three Oaks Drive and is zoned for the (RE-1) One-Acre Ranch Estate District. Applicant: Tim Jackson, Tim Jackson Custom Homes, representing Lam and Michelle Le. (Case #CUP2018-05)

STATUS OF ISSUE: The applicant desires to constructed a 50'x100' square foot concrete pad with the intention of creating multi-purpose sport court in the backyard of an existing homesite. The court will feature a 10' tall containment fence and will be able to provide tennis and basketball amenities for the lot.

Staff Analysis

- In the (RE-1) One-acre Ranch Estate District:
 - Setback for an accessory use is 30.' *The proposed court is shown to be 25' from the eastern property line. Although this encroaches into the setback for accessory uses by 5' feet, the proposed 25' distance matches that of the required setback for a main structure.*
 - Maximum lot coverage is 35%. *Including the proposed multi-use sport court, the lot coverage is approximately 17.5%, meeting the lot coverage requirement.*
- Lighting:
 - The applicant proposes to install a full cut-off LED light fixture on a 20-foot tall pole. According to the lighting specifications provided, the light will produce a

maximum of 13.5 foot-candles of light near the center of the proposed court. The fixtures should be mounted parallel to the ground and provide additional shielding on the east and west sides to help prevent any unintended light trespass adjacent properties.

- The proposed location slightly encroaches into the drainage easement for Wilson Creek. To alleviate any potential drainage issues, staff has established a base elevation (finished floor) at which the court must be installed to not have a negative impact on the downstream drainage.
- Screening:
 - As shown by the aerial and the provided pictures of the area, the lot is heavily wooded with a variety of tree species. To further maintain this wooded atmosphere, the court should be screened from adjacent properties by a hearty evergreen shrub.

History

Since the adoption of the sport court ordinance in 2012, there have been eight (8) requests for CUPs for sports court. Seven of those have been approved. Most recently, in May 2018, the Council approved a lighted tennis court on Creekwood Drive and an unlit basketball court on Pecan Drive.

Public Input

The town has notified 32 adjacent property owners within 500 feet of the subject property, and to date, have received one (1) letter of opposition.

STAFF RECOMMENDATION: Staff recommends **APPROVAL** of the proposed conditional use permit with the following conditions:

1. Use, location and design of the proposed multi-use sport court shall generally conform with the submitted site plan.
2. A hedgerow of Nelly R. Steven Holly shrubs, a minimum of 6-feet tall at the time planting, planted a maximum of 8-feet on center, shall be installed along the eastern and western edge of the court.
3. Additional shielding shall be installed on the eastern and western sides of all lighting fixtures.
4. The court shall be constructed at a finished floor elevation of 530'.

ATTACHMENTS:

- Locator
- Exhibits
- Correspondence



CUP2018-05
1041 Three Oaks Drive

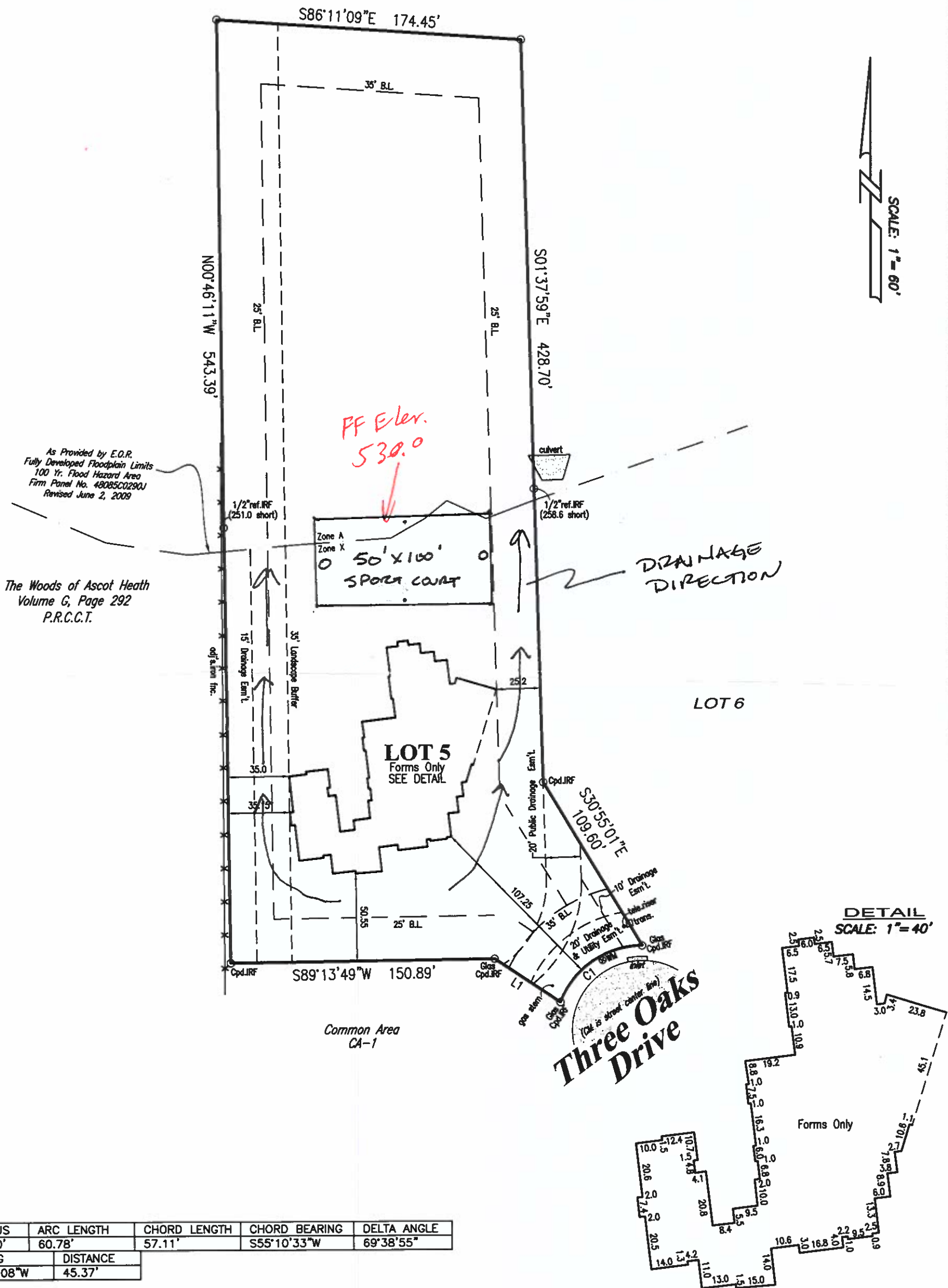
PROPERTY DESCRIPTION

Address: 1041 Three Oaks Drive, Being Lot 5, in Block A, of Three Oaks Addition, an Addition to the Town of Fairview, Collin County, Texas, according to the Map/Plat thereof recorded in Volume 2016, Page 107, of the Map Records, of Collin County, Texas. and Certificate of Correction recorded in Instrument No. 20160620000774770 of the Land Records, of Collin County, Texas



**Roome
Land Surveying**

2000 Avenue G, Suite 810
Plano, Texas 75074
Phone (972) 423-4372 / Fax (972) 423-7523
www.roomesurveying.com / Firm No. 10013100



NOTES: (1) Source bearing is based on recorded plat unless otherwise noted. (2) (CM) = Controlling monument. (3) Surveyor's signature will appear in red ink on original copies. (4) Drainage arrows, if shown, were determined by elevations shown hereon. (5) Subject property is affected by any & all notes, details, easements & other matters, that are shown on or as part of the recorded plat and/or as part of a title commitment/survey request.

CERTIFICATION

On the basis of my knowledge, information & belief, I certify to **Tim Jackson Custom Homes** that as a result of a survey made on the ground to the normal standard of care of Registered Professional Land Surveyors practicing in the State of Texas, I find the plat hereon is true, correct & accurate as to the boundaries of the subject property & if shown, location & type of buildings & visible improvements hereon.

Date: 7/20/2016 Revised: _____ Job No. LB128697



LEGEND

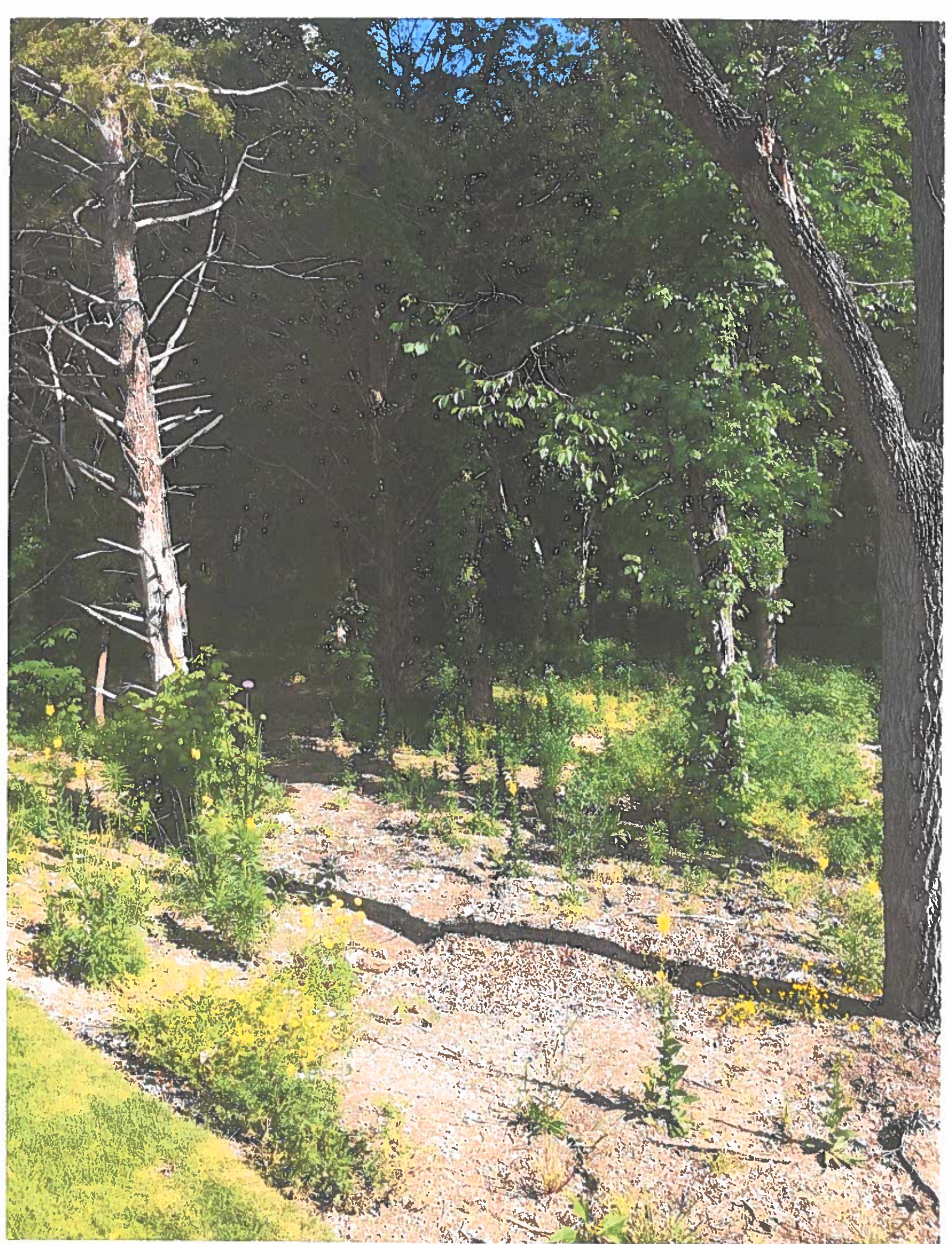
WM=Water Meter
WH=Water Valve
FW=Fire Hydrant
LP=Light Pole
PP=Power Pole
OH=Overhead Line
Cpd=Capped
IRS=Iron Rod Set
RR=Iron Rod Found
BL=Building Line
MH=Manhole
Min.F.=Minimum Finished Floor
T.O.F.=Top of Form
Adjoiner's



Hoop – 72" tempered glass ; black steel pole









TECHLIGHT
INNOVATION IN ILLUMINATION

LSMT SERIES

High Lumen Output Scimitar LED Area Light



SERIES	HOUSING HEIGHT	LENGTH & WIDTH	EPA (FT²)
LSMT	5.23"	37.23" x 16.02"	1.4

supply. LED's rated for over 50,000 hours at 25°C ambient temperature. 347V~480V input option available. 0-10V dimming. Built-in surge protection up to 10 kV. Built-in Active PFC Function >95%/Full load. LED Power Supply conforms to UL8750 standards and is IP65 rated for wet locations.

MOUNTING — The fixture was designed to utilize an innovative die cast decorative arm that allows the fixture to easily mount to almost any existing bolt pattern or new pole. Additional mounting options include a quick mount with 8" straight arm (for use on fixtures with no more than 4 LED bricks) and a 2" adjustable slip fitter for tenon mounting (for use as a downlight only). Additional mounting options may be available for custom applications.

LISTINGS — LED Power Supply listed for wet locations (IP65). LED bricks ETL listed for wet locations (IP64). Meets US and Canadian safety standards. -40°C to 50°C ambient operation. RoHS Compliant.

Catalog Number

Project

Type

FEATURES & SPECIFICATIONS

APPLICATION — The high lumen output luminaire is designed to be a replacement for HID fixtures up to 1000W. It is optimal for lighting applications where long life, low maintenance, and consistent color rendering is required. Areas with limited accessibility due to fixture location or where heavy pedestrian or vehicle traffic makes maintenance difficult are ideal applications. The high wattage/lumen output allows the fixture to be used for parking, restaurant, quick service, shopping centers or sports lighting applications.

CONSTRUCTION — The heavy duty housing is constructed of cast aluminum with heat dissipating fins. The optical assemblies are sealed in place using a silicone gasket for weather tight protection. Modular LED system for ease of maintenance. ETL listed for wet locations (IP64). Additional IP66 rating available upon request. Each fixture comes standard with preps to accommodate advanced wireless control, management and reporting systems for outdoor lighting.

FINISH — A corrosion-resistant black E-Coat layer that forms a uniform and all-encompassing protective barrier is applied to the fixtures prior to electrostatically applying a super durable powder coat finish. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM — Made with a state of the art UV stabilized acrylic high performance refractive optical assemblies that use high transmittivity materials to achieve precise photometric distributions. Available in Type II, III, IV, IV Automotive, Automotive Frontline Wide, IV Tennis, V Narrow, V Medium and V Wide beam configurations. Optics may be ordered rotated 90 degrees for perimeter lighting or walkway applications (optics are not field rotatable). The full cutoff fixture is Star Light Friendly (meets or exceeds Dark Sky requirements) in the horizontal position.

ELECTRICAL SYSTEM — Available in up to a 8 brick LED system in 5000K-70 CRI Cool White (+/- 500K) or 4100K-70 CRI Neutral White color temperatures propagated with CREE® XLamp XHP70 LED's. Consult factory for high CRI (90+) model availability. Available with 100-300V 50/60 Hz Class II power

ORDERING INFORMATION

Choose the bold face options for the appropriate luminaire configuration for your application and enter on the line above each fixture attribute. Accessories may be factory installed, depending on the particular accessory chosen, but still be ordered as a separate line item.

EXAMPLE:

LSMT6CXT5WF1-BZ

LSMT								
SERIES	# OF BRICKS	COLOR TEMP	# LED'S PER BRICK	OPTICS	DRIVE CURRENT	VOLTAGE	OPTIONS	FINISH
	1 = 1 Brick 2 = 2 Brick 4 = 4 Brick 6 = 6 Brick	C = Cool White (5000K) N = Neutral White (4100K)	X = 8 XHP70 LED's	T2 = Type II T3 = Type III T4 = Type IV T4A = Type IV Auto FAW = Frontline Auto Wide T4T = Type IV Tennis T5N = Type V Narrow T5M = Type V Medium T5W = Type V Wide	F = 1400 mA	1 = Multi-Volt 2 = 347-480V	L = Left Rotated Optics R = Right Rotated Optics (Leave Blank for standard optics)	BZ = Bronze BK = Black GR = US Green WH = White SP = Special

ACCESSORIES (Order as separate line items)

- SDARM** Die Cast Decorative Arm Mount (Square Pole, 1.4 EPA)
- SDARM-R** Die Cast Decorative Arm Mount (Round Pole, 1.4 EPA)
- QMSCM** Quick Mount with 8" SSA-M Straight Arm (4 Brick Max)
- S213** Angled Back Light Shield
- PCR7** 7-Pin Twist-Lock Photocell Receptacle ANSI C136.41 and Receptacle Shorting Cap
- PC2** 480V Twist-Lock Photocell
- PC6** Multi-Tap (105-285V) Twist-Lock Photocell
- IP66** Additional IP66 Fixture Rating

NOTES

- ¹ = Multi-Volt is an auto ranging power supply from 100V to 300V input.
- ² = Custom RAL color matching is available. Contact your sales representative for additional info.
- ³ = QMSCM Quick Mount only available for fixtures with up to 4 bricks.
- ⁴ = Order one per LED brick. Field installed.
- ⁵ = Photocell Receptacle must be installed at the factory. No field installation.
- ⁶ = Additional IP66 rating may not be changed once production has begun on the fixtures.



DesignLights Consortium® Qualified. Please go to www.designlights.org for the current Qualified Products List. Further details about qualified models may be found under Family Models.



www.techlightusa.com

All dimensions and specifications are subject to change without notice.

REV. 20170319-01





June 1, 2018

TO WHOM IT MAY CONCERN:

Notice is hereby given that the Planning and Zoning Commission for the Town of Fairview, Texas, will convene for a public hearing on Thursday, June 14, 2018 at 7:00 p.m. at Town Hall, 372 Town Place, Fairview, Texas. At such time and place the Commission will hold a public hearing and take appropriate action regarding the following:

1. Conduct a public hearing, consider and take action on a request for approval of a conditional use permit (CUP) for a sports court. The 2.26-acre site is located at 1041 Three Oaks Drive and is zoned for the (RE-1) One-Acre Ranch Estate District. Applicant: Tim Jackson, Tim Jackson Custom Homes, representing Lam and Michelle Le. (Case #CUP2018-05)

All interested citizens and property owners are invited to attend and participate in this meeting. For questions and/or comments please contact Israel Roberts, Planning Manager, at 972-562-0522, extension 5094; or via email: iroberts@fairviewtexas.org. Citizens may also visit Town Hall, Monday-Friday from 8:00-4:30 PM to obtain more information on this matter prior to the public hearing.

If you wish to communicate your support or opposition for this proposed CUP to the Planning and Zoning Commission and town staff, please respond to the queries below and return it to Mr. Roberts via mail, email, or hand delivery.

Name: WANDA CLARY Address: 950 CIRCLE IN THE WOODS

☐ Support

Signature: *Wanda Clary*



Oppose (provide comments below)

Date: 6-7-18

Comments:

A "PICK-UP" GAME IN THE YARD IS NICE
BUT A REGULATION SPORTS COURT GOES
TOO FAR. ISSUES OF NOISE, NUMBERS
OF PEOPLE, PARKING, LIGHTING ARE SURE
TO FOLLOW.